

NEW GROUP HOME 7 REX STREET GOULBURN

LOT 83 DP 10309

DWG #	REV #	TITLE OF DRAWING
A-01	A	TITLE
A-02	A	GENERAL NOTES
A-03	A	EXISTING & DEMOLITION SITE PLAN
A-04	A	PROPOSED SITE PLAN
A-05	A	PROPOSED SITE PLAN - ROOF LEVEL
A-10	A	ACCESSIBLE UNIT ELEVATIONS
A-11	A	TYPICAL UNIT ELEVATIONS
A-12	A	TYPICAL UNIT ELEVATIONS
A-13	A	DUAL KEY UNIT ELEVATIONS
A-14	A	DUAL KEY UNIT ELEVATIONS
A-16	A	COMMUNAL BUILDING ELEVATIONS
A-17	A	COMMUNAL BUILDING ELEVATIONS
A-18	A	SECTION A-A
A-19	A	EROSION CONTROL NOTES & PLAN
A-20	A	DOOR SCHEDULE
A-21	A	WINDOW SCHEDULE
A-22	A	WINDOW SCHEDULE COMMUNAL BUILDING
A-23	A	LANDSCAPE PLAN
A-25	A	TURNING CIRCLES
A-26	A	CONCEPT RENDERERS
A-27	A	WINTER SOLSTICE SHADOW DIAGRAMS
NP-01	A	NOTIFICATION PLAN

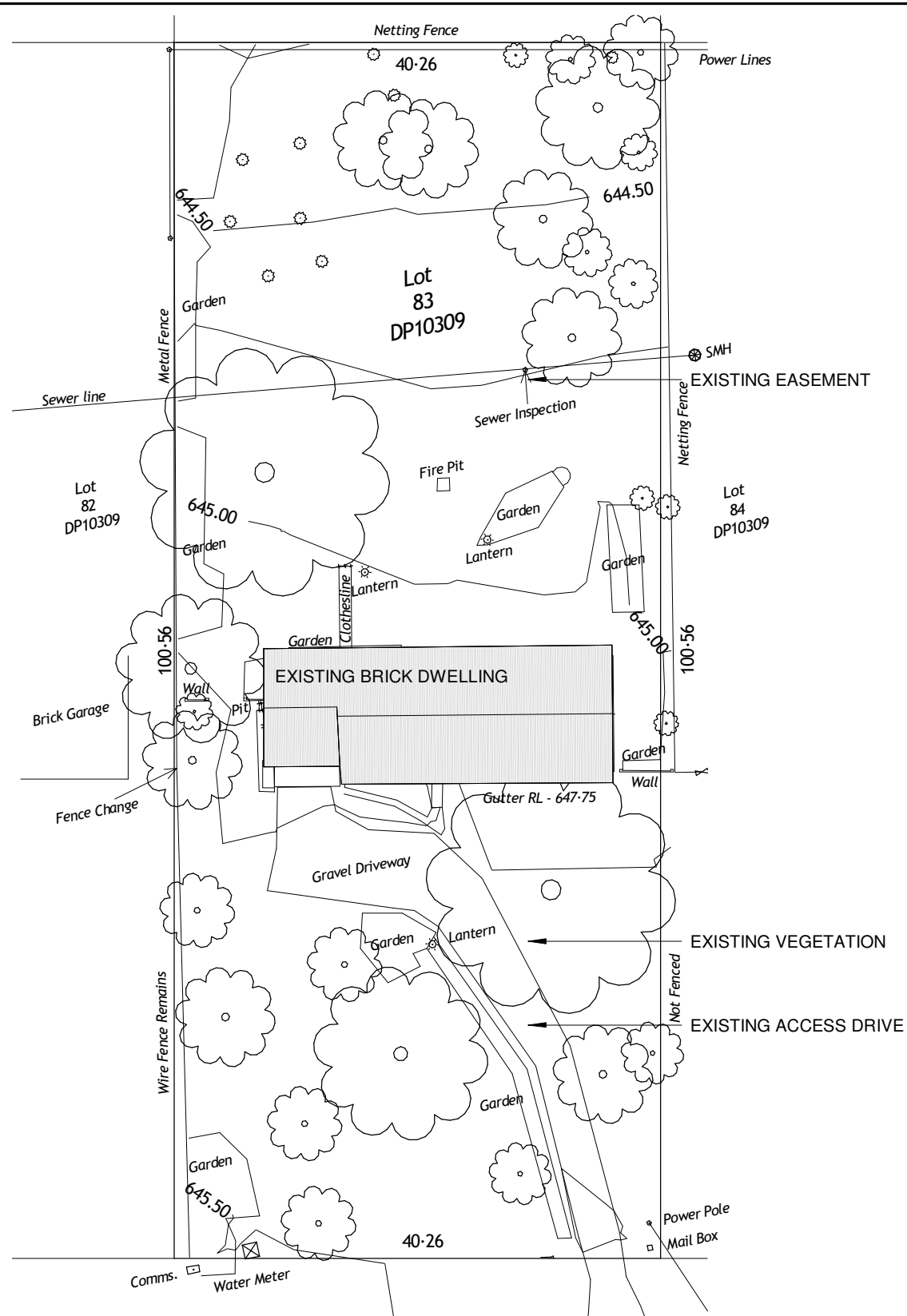
ISSUED FOR

DEVELOPMENT APPLICATION

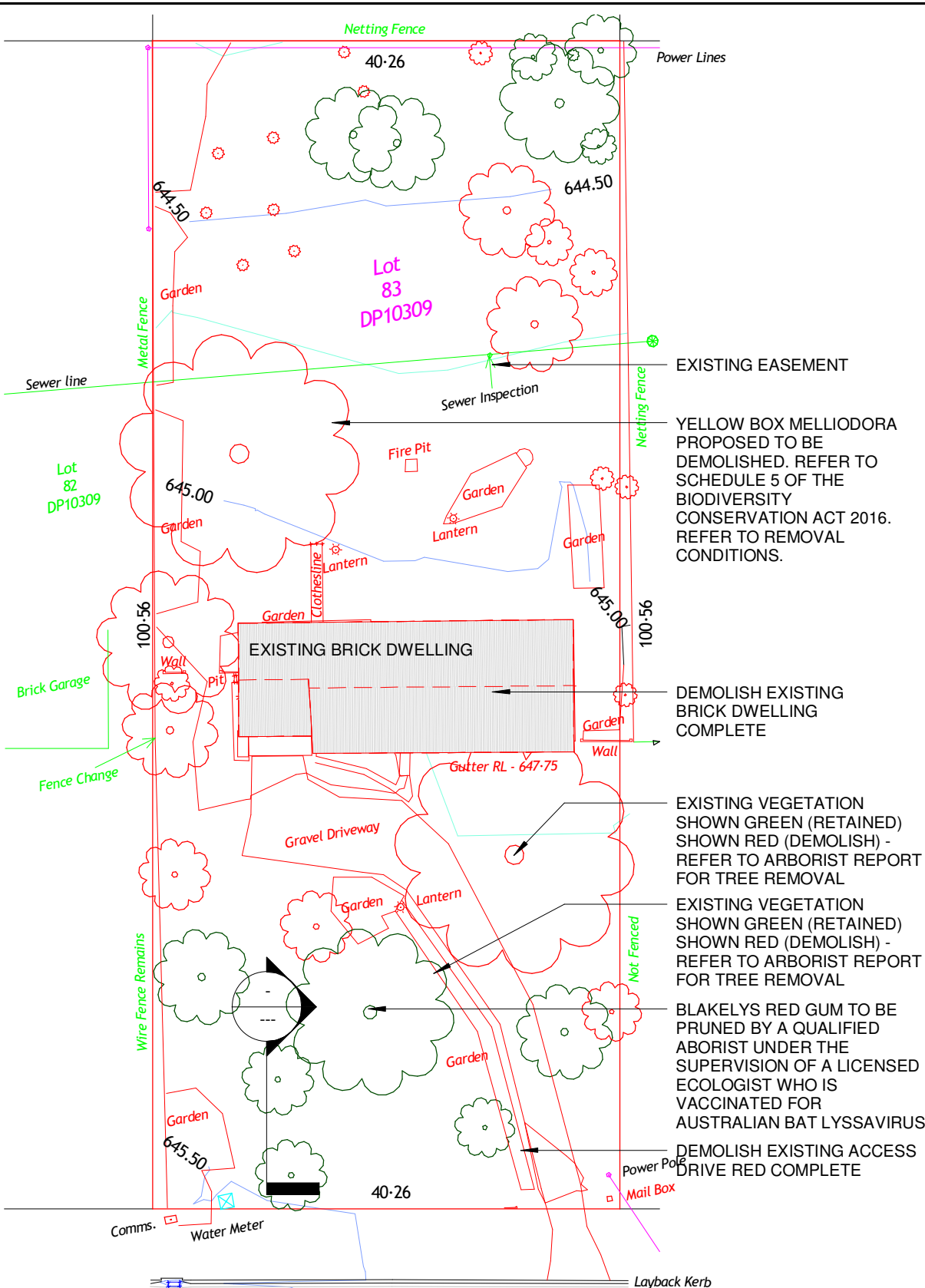
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div></div><div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div><div>C</div></div>	DRAWING TITLE	TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 83 DP 10309	DRAWING SCALE	DRAWN BY
A	DEVELOPMENT APPLICATION	23/05/2025	REX ST GROUP HOME		DOUBLE SKULL PTY LTD		AT SHEET SIZE	JOB NUMBER
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			A3 SHEET	1024-1723	
					STREET ADDRESS	7 REX STREET GOULBURN	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
							A-01	A

<u>NCC & AUSTRALIAN STANDARDS COMPLIANCE NOTES</u>			<u>BCA (NCC) & AUSTRALIAN STANDARDS COMPLIANCE NOTES</u>			<u>NOTES:</u>			<u>NOTES:</u>		
CONTRACTOR TO SHOW FULL COMPLIANCE WITH ALL <u>CURRENT</u> REQUIRED CODES, STANDARDS, LOCAL LEGISLATION, BY-LAWS & PARTS OF THE NCC, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:			AS 3740 : 2021 WATERPROOFING OF DOMESTIC WET AREAS & BCA (NCC) VOL. 2 PART 3.8.1			REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.			ONCE WINDOWS ARE INSTALLED, CONTRACTOR TO SEAL WINDOW PERIMETERS WITH SPRAY FOAM TO GIVE FULLY AIR-TIGHT SEAL AGAINST FRAME. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.		
NCC VOL 2 - PART H1 NCC VOL 2 - PART H2 NCC VOL 2 - PART H3 NCC VOL 2 - PART H4 NCC VOL 2 - PART H5 NCC VOL 2 - PART H6 NCC VOL 2 - PART H7	STRUCTURE DAMP & WATERPROOFING FIRE SAFETY HEALTH & AMENITY SAFE MOVEMENT & ACCESS ENERGY EFFICIENCY ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS LIVABLE HOUSING DESIGN		AS 3786 : 2014 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION & BCA (NCC) VOL. 2 PART 3.7.5			SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.			SITE PREPARATION SHALL BE CARRIED OUT IN ACCORDANCE WITH ENGINEER'S DETAILS & CURRENT EDITION OF AS2870 - RESIDENTIAL SLABS & FOOTING CODE.		
NCC VOL 2 - PART H8 NCC VOL 2 - SPEC 42 NCC VOL 2 - SPEC 44	HOUSE ENERGY RATING SOFTWARE CALCULATION OF HEATING LOAD LIMIT, COOLING LOAD LIMIT & THERMAL ENERGY LOAD LIMIT		AS 4055 : 2012 WIND LOADS FOR HOUSING			ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.			A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.		
NCC VOL 2 - SCHEDULE 3 NCC VOL 2 - SCHEDULE 4 NCC VOL 2 - SCHEDULE 5	COMMONWEALTH OF AUSTRALIA AUSTRALIAN CAPITAL TERRITORY NEW SOUTH WALES		AS 4349 : 2007 INSPECTION OF BUILDINGS			IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.			LIFT OFF HINGES TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARDS TO SATISFY THE REQUIREMENTS OF NCC PART 10.4.2 OR PROVIDE ALTERNATIVE CONFIGURATION TO SATISFY THE LOCAL AUTHORITIES.		
<div>LIGHT & VENTILATION IS REQUIRED TO ALL BUILDINGS TO MEET NCC VOL 2. PART H4.</div>			AS/NZS 4654 : 2012 WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE BCA (NCC) VOL. 2 PART 3.8.1			THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.			CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. INSTALL OVER ENVIROSEAL RW. LAP & TAPE ALL JOINTS & FRAME PENETRATIONS TO ENSURE AN AIRTIGHT BUILDING SEAL.		
BCA (NCC) VOL. 2	PART 3.12.3 - BUILDING SEALING		AS 4773 : 2015 MASONRY IN SMALL BUILDINGS - DESIGN			ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.			ALL FIRST FLOOR WINDOWS TO HAVE A CHILD RESTRICTIVE OPENING DEVICE TO PREVENT THEM OPENING MORE THAN 120mm TO MEET D2.24 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.		
BCA (NCC) VOL. 2	PART 3.12.5 - SERVICES		AS 5104 : 2017 GENERAL PRINCIPLES ON RELIABILITY FOR STRUCTURES			ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.			ALL PAINT FINISHES (EXTERNAL AND INTERNAL) TO BE LEVEL 4 PAINT FINISH (MIN. 4 COATS), SEAL COAT, UNDERCOAT, 2 x TOP COATS.		
AS/NZS 1170.2 : 2011	STRUCTURAL DESIGN ACTIONS - WIND ACTIONS		HB 28 : 1997 THE DESIGN OF RESIDENTIAL SLABS & FOOTINGS			IF ALTERNATIVE MATERIAL OR PRODUCT IS PROPOSED TO THAT SPECIFIED, THE BUILDER <u>MUST</u> PROVIDE EVIDENCE SHOWING COMPLIANCE WITH THE BCA AND ALL RELEVANT STANDARDS RELATING TO THE APPLICATION OF THE PROPOSED MATERIAL. FURTHER THE ARCHITECT ACCEPTS NO LIABILITY OR INDEMNITY FOR THE SUBSTITUTION OF A MATERIAL CONTRARY TO THAT SPECIFIED BY THE ARCHITECT WITHOUT THE PROVISION OF WRITTEN DOCUMENTATION SHOWING COMPLIANCE WITH THE BCA AND AUSTRALIAN STANDARDS AND THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.			ALL EXTERNALL LOCATED MANUFACTURED TIMBER PRODUCTS TO BE PROTECTED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.		
AS 1288 : 2006	GLASS IN BUILDINGS BCA (NCC) CLAUSE B1.4 & PART 3.1.4		HB 46 : 2010 FIRE SAFETY IN THE HOME			COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.			WET AREAS SHOWN HATCHED, LAY NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 SLIP RATING ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN AND TO MEET NCC F2D2. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.		
AS 1562 : 2018	DESIGN & INSTALLATION OF SHEET ROOFING & WALL CLADDING		HB 111 : 1998 THE DOMESTIC KITCHEN HANDBOOK			THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.			THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.		
AS/NZS 1596 : 2014	THE STORAGE AND HANDLING OF LP GAS		<div>SCHEDULE OF FIRE SAFETY MEASURES EMERGENCY LIGHTING NCC PART E4D2, E4D4 AS 2293.1 PORTABLE FIRE EXTINGUISHERS NCC PART E1D14, AS 2444 FIRE BLANKETS NCC PART E1D14, AS 2444 EXIT DOORS NCC PART D3, INC. D3D24, D3D25, D3D26, D3D28 NOTE : EMERGENCY DOORS TO REMAIN CLEAR AT ALL TIMES.</div>			CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.			PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.		
AS 1684.2 : 2010	RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREA - N1/N2 SUPPLEMENT 1: TIMBER FRAMING SPAN TABLES - WIND CLASSIFICATION N1/N2 - SEASONED SOFTWOOD - STRESS GRADE F5 (SUPPLEMENT TO AS 1684.2 : 2010).		IF & WHEN ASBESTOS IS FOUND, WORK IS TO STOP IMMEDIATELY & A LICENSED ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE THE ASBESTOS.			GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.			TILING		
AS 1684.2 : 2012	RESIDENTIAL TIMBER-FRAMED CONSTRUCTION		THE ASSESSMENT, REMOVAL & DISPOSAL OF ASBESTOS TO MEET ALL AUSTRALIAN STANDARDS, NCC (BCA) REQUIREMENTS & "HOW TO SAFELY REMOVE ASBESTOS - CODE OF PRACTICE" APRIL 2016 BY SAFE WORK AUSTRALIA, APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE "WORK HEALTH & SAFETY ACT" (THE WHS ACT) & THE "WORK HEALTH & SAFETY REGULATIONS" (THE WHS REGULATIONS).			ALL WALLS TO BE WRAPPED IN ENVIROSEAL RESIDENTIAL WALL WRAP. ALL JOINTS TO BE LAPPED MIN. 300mm AND TAPED.			APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.		
AS 1668.2 : 2012	THE USE OF VENTILATION & AIR-CONDITIONING IN BUILDINGS		THE REMOVAL OF ASBESTOS IS TO BE ACCESSED & CARRIED OUT BY A LICENSED ASBESTOS REMOVALIST WHO IS APPROPRIATELY LICENSED TO CARRY OUT THE SCOPE OF WORKS.			RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.			SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE REPREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.		
AS 2047 : 2014	GLAZING ASSEMBLIES & BCA (NCC) B1.4 & F1.13		THE LICENSED ASBESTOS REMOVALIST MUST PREPARE AN ASBESTOS REMOVAL CONTROL PLAN FOR ANY LICENSED ASBESTOS REMOVAL WORK THEY ARE COMMISSIONED TO CARRY OUT. THE ASBESTOS REMOVAL CONTROL PLAN TO BE PREPARED PRIOR TO COMMENCEMENT OF WORKS.			EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR.			<div>NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.</div>		
AS 2436 : 2010	GUIDE TO NOISE & VIBRATION CONTROL ON CONSTRUCTION, DEMOLITION & MAINTENANCE SITES		DURING THE REMOVAL & DISPOSAL OF THE ASBESTOS, THE LICENSED ASBESTOS REMOVALIST IS TO ENSURE DECONTAMINATION FACILITIES, WASTE CONTAINMENT & DISPOSAL METHODS MEET THE ABOVE-MENTIONED RULES & REGULATIONS.			MECHANICAL VENTILATION & LIGHTING TO MEET PART H4 OF THE NCC. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.					
AS/NZS 2589 : 2017	GYPSUM LININGS - APPLICATIONS & FINISHING		IF ASBESTOS CONTAMINATED SOIL IS DISCOVERED DURING WORKS & EXCAVATION ONSITE, ALL WORK IS TO CEASE IMMEDIATELY. THE LICENSED ASBESTOS REMOVALIST IS TO BE CONTACTED IMMEDIATELY & AWAIT THEIR INSTRUCTIONS.			NOTES:			<div>ISSUED FOR DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION</div>		
AS 2870 : 2011	RESIDENTIAL SLABS & FOOTINGS		<u>NOTES:</u>								
AS/NZS 2904 : 1995	DAMP-PROOF COURSES & FLASHINGS		ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3rd PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORKS. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS. ALL BUILDING WORKS, SIGNAGE, FITTINGS & FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS 1428.1 & BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.								
AS/NZS 3000 : 2018	ELECTRICAL INSTALLATIONS/WIRING										
AS/NZS 3008 : 2017	ELECTRICAL INSTALLATIONS										
AS/NZS 3012 : 2010	ELECTRICAL INSTALLATIONS - CONSTRUCTION & DEMOLITION SITES										
AS/NZS 3500.3 : 2015	PLUMBING & DRAINAGE - STORMWATER DRAINAGE										
AS 3660.1 : 2014	TERMITE MANAGEMENT PART 1 : NEW BUILDING WORK & BCA (NCC) VOL. 2 PART 3.1.4										
AS 3666.1 : 2011	AIR HANDLING & WATER SYSTEMS OF BUILDING - MICROBIAL CONTROL										
AS 3700 : 2018	MASONRY STRUCTURES										
AS 3727.1 : 2016	PAVEMENTS - RESIDENTIAL										
DRAWING AMENDMENTS			PROJECT TITLE REX ST GROUP HOME			DRAWING TITLE GENERAL NOTES			DRAWING COMMENCED 12/24		
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 23/05/2025	CLIENT DOUBLE SKULL PTY LTD			LOT AND DEPOSITED PLAN NO. LOT 83 DP 10309			DRAWING SCALE 1 : 100		
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030			STREET ADDRESS 7 REX STREET GOULBURN			AT SHEET SIZE A3 SHEET		
									DRAWING IDENTIFICATION NUMBER A-02		
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									DRAWN BY AH		
									JOB NUMBER 1024-1723		
									AMENDMENT ISSUE A		



1 EXISTING SITE PLAN
1 : 500 @ A3



2 DEMOLITION SITE PLAN
1 : 500 @ A3

DEMOLITION:

- ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES. CARE TO BE TAKEN BELOW SLAB LEVEL.
- LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE STANDARD OF THE ORIGINAL
- IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED.

YELLOW BOX MELLIODORA PROPOSED TO BE DEMOLISHED. REFER TO SCHEDULE 5 OF THE BIODIVERSITY CONSERVATION ACT 2016. REFER TO REMOVAL CONDITIONS.

DEMOLISH EXISTING BRICK DWELLING COMPLETE

EXISTING VEGETATION SHOWN GREEN (RETAINED) SHOWN RED (DEMOLISH) - REFER TO ARBORIST REPORT FOR TREE REMOVAL

EXISTING VEGETATION SHOWN GREEN (RETAINED) SHOWN RED (DEMOLISH) - REFER TO ARBORIST REPORT FOR TREE REMOVAL

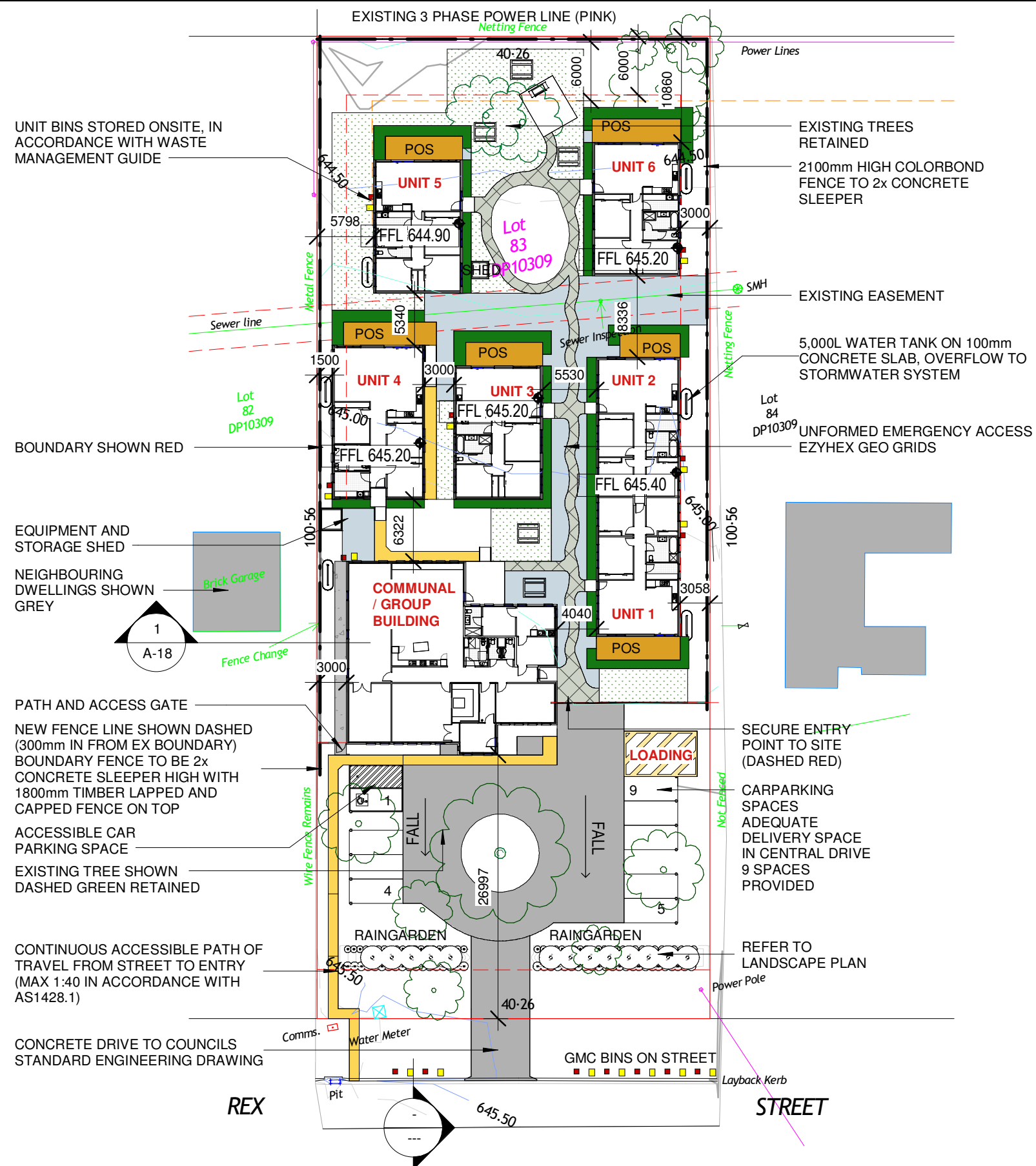
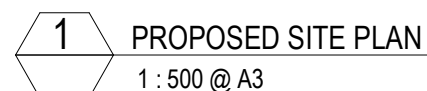
BLAKELYS RED GUM TO BE PRUNED BY A QUALIFIED ARBORIST UNDER THE SUPERVISION OF A LICENSED ECOLOGIST WHO IS VACCINATED FOR AUSTRALIAN BAT LYSSAVIRUS

DEMOLISH EXISTING ACCESS DRIVE RED COMPLETE



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**NOTE : SITE INFORMATION HAS BEEN ASSUMED,
FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR
LEVELS, ETC, TO BE CONFIRMED ONSITE BY
SURVEYOR PRIOR TO COMMENCING WORKS.**

NOTES:

- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
- SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED
- & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.
- THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.
- ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.
- THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.
- COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.
- TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.
- ALL WORK TO BE CARRIED OUT COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
- PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
- GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.



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					A-04		A			

BASIX COMMITMENTS:

WATER

- Alternative water supply:3,000L tank, collected from 615m² roof area and servicing laundry, toilets
- Dwelling fixtures: Showerheads – 4 star (>4.5 L/min and <7.5L/min); Toilets 4 star; Kitchen/Bathroom Taps 4 Star

THERMAL COMFORT

Glazing:

- Maximum U-Value 4.8 SHGC 0.48 - 0.54 (awning)
- Maximum U-Value 4.8 SHGC 0.56 - 0.62 (sliding, fixed)

Insulation:

- Minimum R5 insulation to be installed to ceiling with R1.3 blanket
- Minimum R1.0 insulation under-slab of dwelling 1 and 2
- Minimum R2.5 insulation to be installed to external walls with reflective foil
- Minimum R2 insulation to be installed to internal walls facing unconditioned zones (wc, ldry, bath)

Lighting:

Any downlights to be LED, IC-F compliant so as to allow full coverage of insulation.

Ventilation: All exhaust fans to be sealed.

Colour: Medium (SA 0.5) External walls, Roof and Windows

ENERGY

- Hot water: 5 star gas instantaneous hot water system
- Ventilation: Bathroom, kitchen, laundry have individual exhaust fan ducted to roof/facade with manual switch on/off
- Cooling/heating: 1 Phase/≥3.5 star (new rating) individual system in Living
- Lighting: LED, IC-F Compliant throughout
- Cooktop/oven: Electric cooktop & electric oven
- Fridge: Ventilated fridge space
- Clothes drying: Indoor clothes drying line

MATERIALS

Refer to construction in BASIX report.

UNIT BINS STORED ONSITE, IN ACCORDANCE WITH WASTE MANAGEMENT GUIDE

OUTDOOR REC AREA AND SEATING UNDER TREES

BOUNDARY SHOWN RED

EQUIPMENT AND STORAGE SHED

NEIGHBOURING DWELLINGS SHOWN GREY

5,000L WATER TANK ON 100mm CONCRETE SLAB, OVERFLOW TO STORMWATER SYSTEM

PATH AND ACCESS GATE

NEW FENCE LINE SHOWN DASHED (300mm IN FROM EX BOUNDARY) BOUNDARY FENCE TO BE 2x CONCRETE SLEEPER HIGH WITH 1800mm COLORBOND FENCE ON TOP

ACCESSIBLE CAR PARKING SPACE

EXISTING TREE SHOWN DASHED GREEN RETAINED

CONCRETE DRIVE TO COUNCILS STANDARD ENGINEERING DRAWING

EXISTING 3 PHASE POWER LINE (PINK)

Power Lines

EXISTING TREES RETAINED

2100mm HIGH COLORBOND FENCE TO 2x CONCRETE SLEEPER

EXISTING EASEMENT

5,000L WATER TANK ON 100mm CONCRETE SLAB, OVERFLOW TO STORMWATER SYSTEM

Lot 84 DP10309

SECURE ENTRY POINT TO SITE (DASHED RED)

CARPARKING SPACES ADEQUATE DELIVERY SPACE IN CENTRAL DRIVE 9 SPACES PROVIDED

AREA OF LANDSCAPING SHOWN HATCHED GREEN

Power Pole

GMC BINS ON STREET

STREET

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

NOTES:

- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
- SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.
- THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.
- ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.
- THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.
- COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.
- TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.
- ALL WORK TO BE CARRIED OUT COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
- PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
- GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

SITE AREA 4051.89 m²

1 PROPOSED ROOF LEVEL SITE PLAN
1 : 500 @ A3

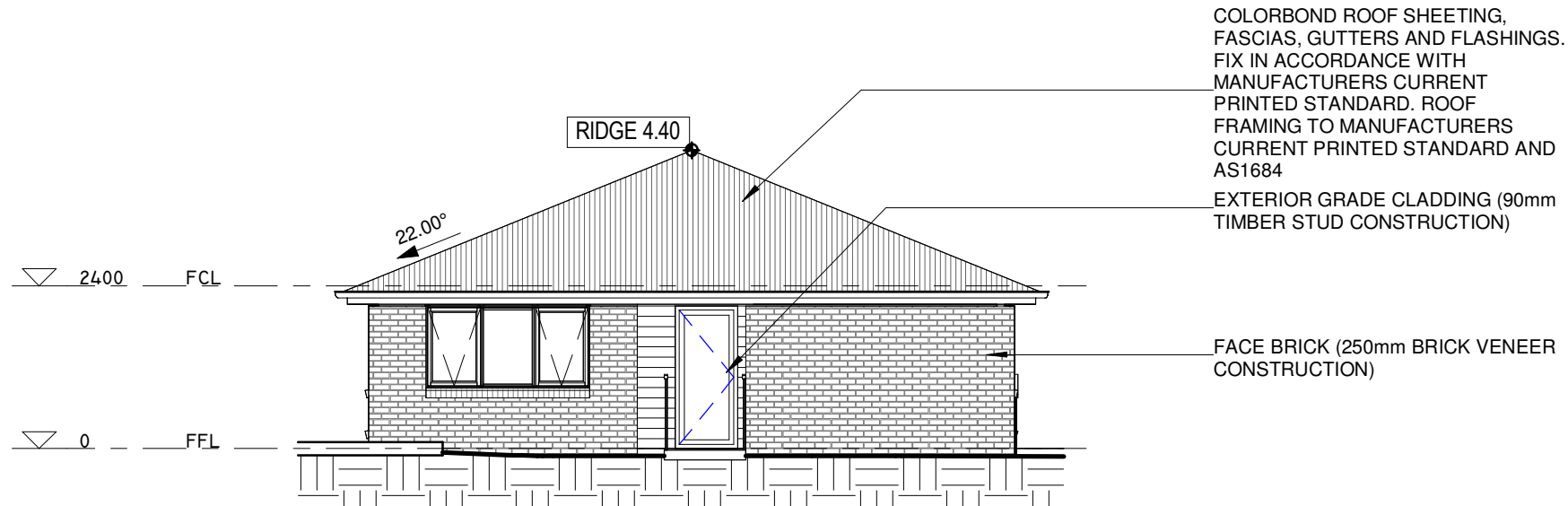
REX

TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW 2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE
PROPOSED SITE PLAN - ROOF LEVEL
LOT AND DEPOSITED PLAN NO.
LOT 83 DP 10309
STREET ADDRESS
7 REX STREET GOULBURN

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 23/05/2025	REX ST GROUP HOME	PROPOSED SITE PLAN - ROOF LEVEL	12/24	TL
			CLIENT DOUBLE SKULL PTY LTD	LOT AND DEPOSITED PLAN NO. LOT 83 DP 10309	DRAWING SCALE As indicated	DRAWN BY AH
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS 7 REX STREET GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 1024-1723
					DRAWING IDENTIFICATION NUMBER A-05	AMENDMENT ISSUE A

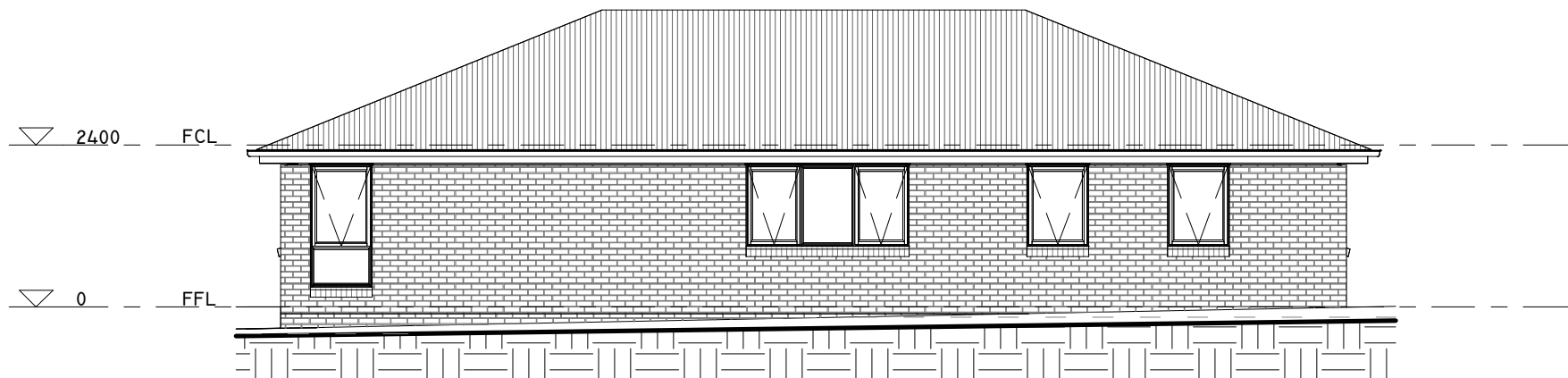


COLORBOND ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURERS CURRENT PRINTED STANDARD. ROOF FRAMING TO MANUFACTURERS CURRENT PRINTED STANDARD AND AS1684

EXTERIOR GRADE CLADDING (90mm TIMBER STUD CONSTRUCTION)

FACE BRICK (250mm BRICK VENEER CONSTRUCTION)

1 ACCESSIBLE UNIT SOUTH ELEVATION
1 : 100 @ A3



2 ACCESSIBLE UNIT WEST ELEVATION
1 : 100 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE		ACCESSIBLE UNIT ELEVATIONS		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY		
A	DEVELOPMENT APPLICATION	23/05/2025	DOUBLE SKULL PTY LTD		LOT 83 DP 10309		1 : 100	AH		
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					7 REX STREET GOULBURN		DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE		
							A-10	A		

STEP FREE ENTRY THRESHOLD TO LHA SILVER
EXTERIOR GRADE CLADDING (90mm _____
TIMBER STUD CONSTRUCTION)

A diagram of a regular hexagon divided into two equal horizontal halves by a single line. The top half contains the number 1.

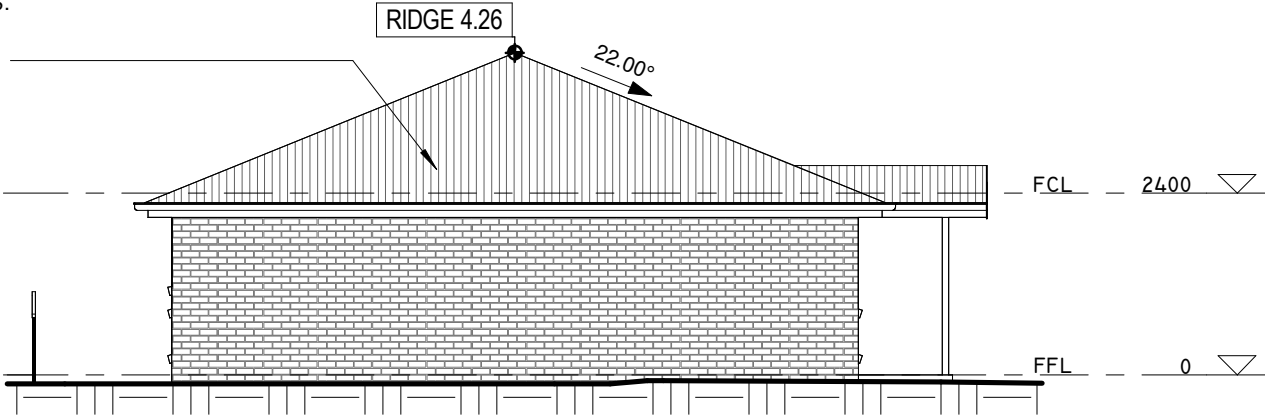
ALUMINIUM FRAMED SLIDING DOOR,
POWDERCOAT FINISH WITH
MATCHING FLYSCREENS



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REVISION	DESCRIPTION	DATE	CLIENT		TYPICAL UNIT ELEVATIONS		12/24		TL	
A	DEVELOPMENT APPLICATION	23/05/2025	DOUBLE SKULL PTY LTD		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE		DRAWN BY	
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			7 REX STREET GOULBURN		DRAWING IDENTIFICATION NUMBER		AMENDMENT ISSUE			
					A-11		A			

COLORBOND ROOF SHEETING,
FASCIAS, GUTTERS AND FLASHINGS.
FIX IN ACCORDANCE WITH
MANUFACTURERS CURRENT
PRINTED STANDARD. ROOF
FRAMING TO MANUFACTURERS
CURRENT PRINTED STANDARD AND
AS1684

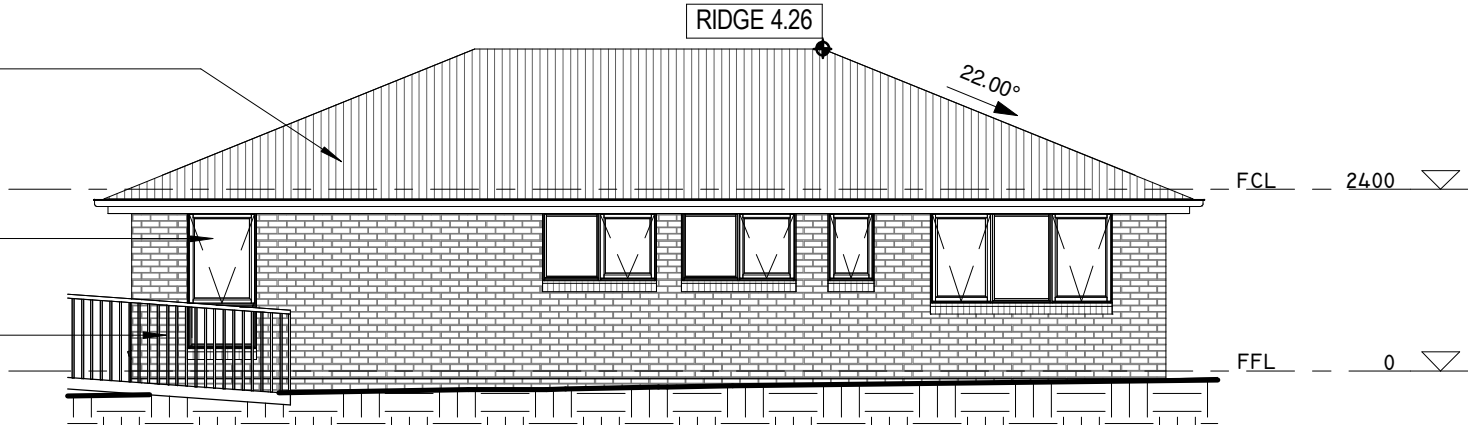


1 TYPICAL UNIT SOUTH ELEVATION
1 : 100 @ A3

COLORBOND ROOF SHEETING,
FASCIAS, GUTTERS AND FLASHINGS.
FIX IN ACCORDANCE WITH
MANUFACTURERS CURRENT
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FRAMING TO MANUFACTURERS
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ALUMINIUM FRAMED WINDOWS,
POWDERCOAT FINISH WITH
MATCHING FLYSCREENS

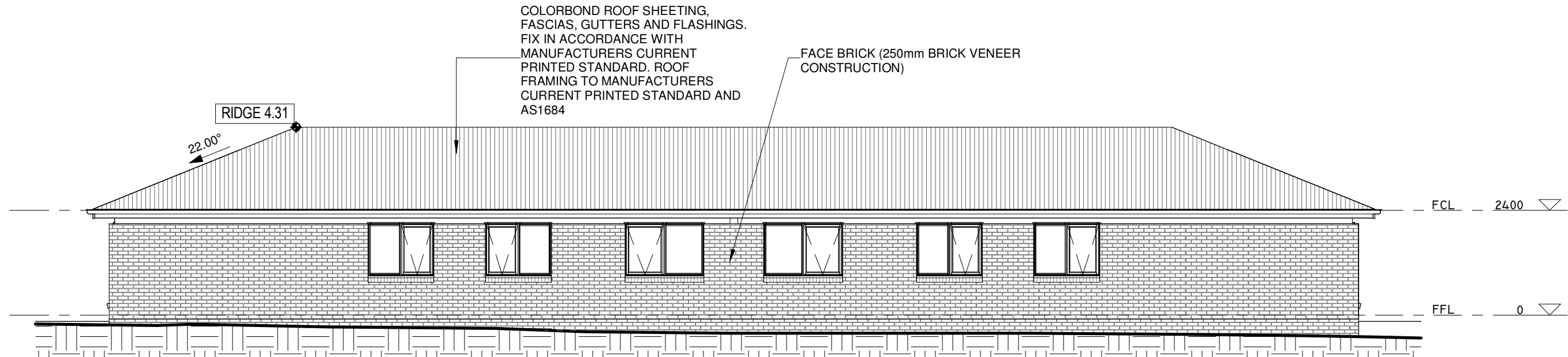
FACE BRICK (250mm BRICK VENEER
CONSTRUCTION)



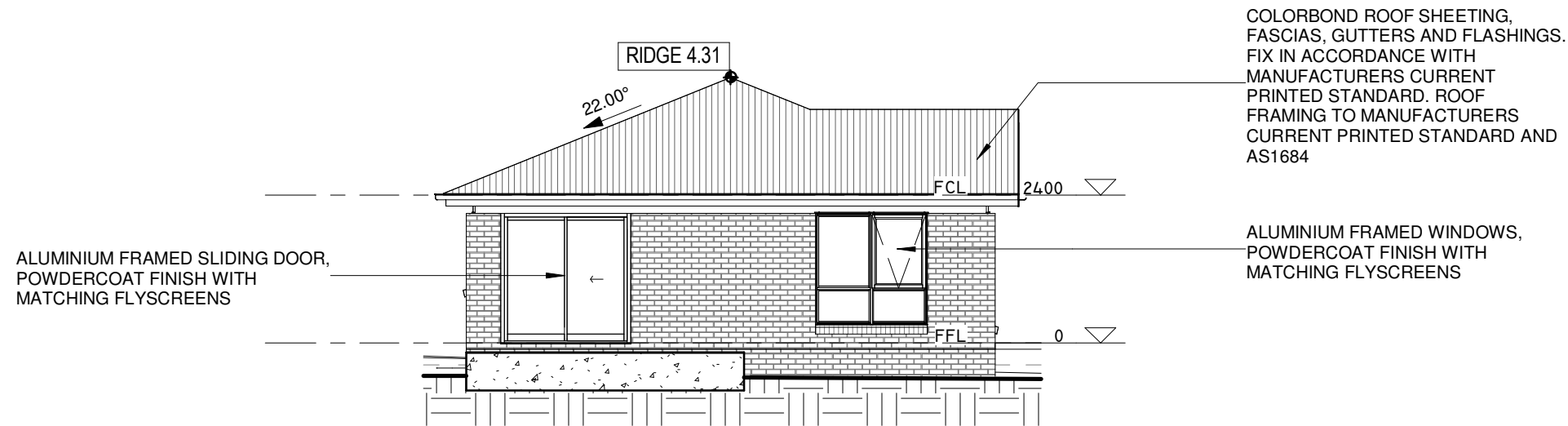
2 TYPICAL UNIT WEST ELEVATION
1 : 100 @ A3

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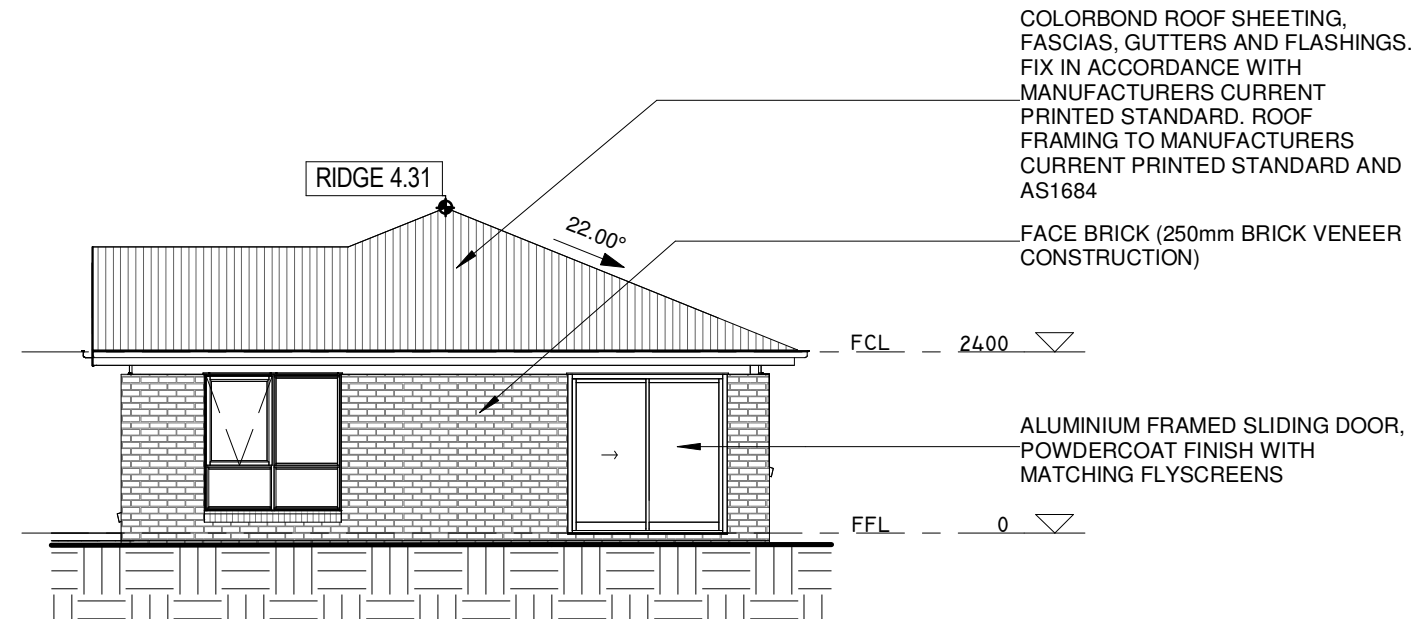
1 DUAL KEY UNIT EAST ELEVATION
1 : 100 @ A3



2 DUAL KEY UNIT NORTH ELEVATION
1 : 100 @ A3

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DEVELOPMENT APPLICATION
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					7 REX STREET GOULBURN	A3 SHEET	1024-1723
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-13	A



1 DUAL KEY UNIT SOUTH ELEVATION
1 : 100 @ A3



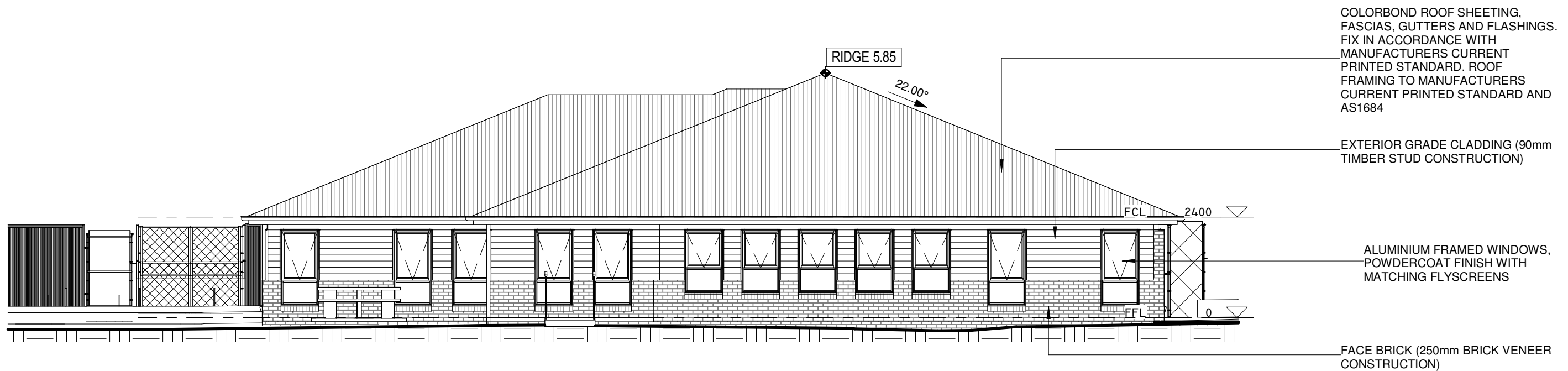
2 DUAL KEY UNIT WEST ELEVATION
1 : 100 @ A3

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							AT SHEET SIZE	JOB NUMBER	
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1 COMMUNAL BUILDING EAST ELEVATION
1 : 100 @ A3



2 COMMUNAL BUILDING NORTH ELEVATION
1 : 100 @ A3

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						A3 SHEET	1024-1723
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-16	A

COLORBOND ROOF SHEETING,
FASCIAS, GUTTERS AND FLASHINGS.
FIX IN ACCORDANCE WITH
MANUFACTURERS CURRENT
PRINTED STANDARD. ROOF
FRAMING TO MANUFACTURERS
CURRENT PRINTED STANDARD AND
AS1684



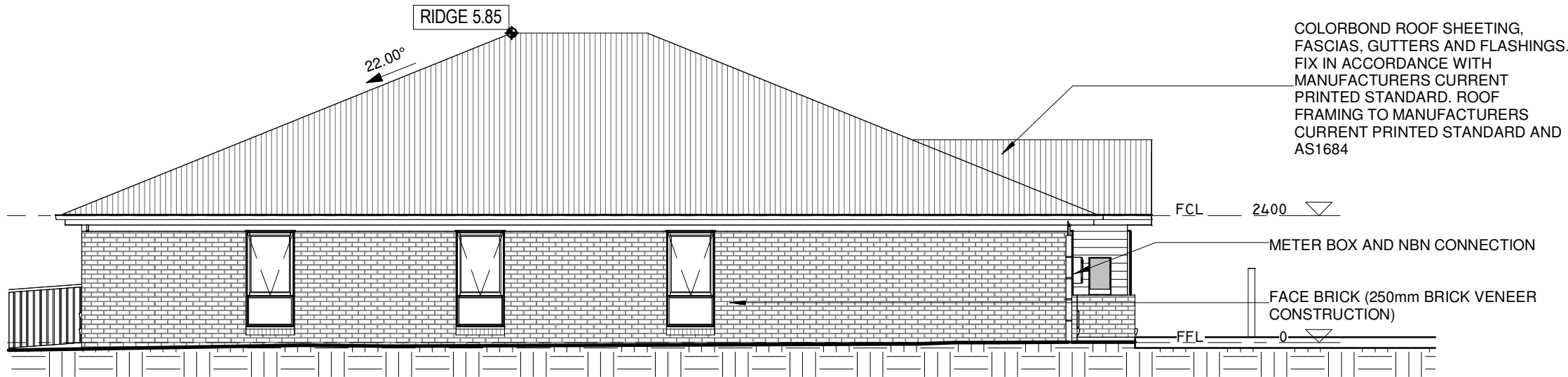
EXTERIOR GRADE CLADDING (90mm
TIMBER STUD CONSTRUCTION)

ALUMINIUM FRAMED WINDOWS,
POWDERCOAT FINISH WITH
MATCHING FLYSCREENS

1

COMMUNAL BUILDING SOUTH ELEVATION

1 : 100 @ A3



COLORBOND ROOF SHEETING,
FASCIAS, GUTTERS AND FLASHINGS.
FIX IN ACCORDANCE WITH
MANUFACTURERS CURRENT
PRINTED STANDARD. ROOF
FRAMING TO MANUFACTURERS
CURRENT PRINTED STANDARD AND
AS1684

METER BOX AND NBN CONNECTION

FACE BRICK (250mm BRICK VENEER
CONSTRUCTION)

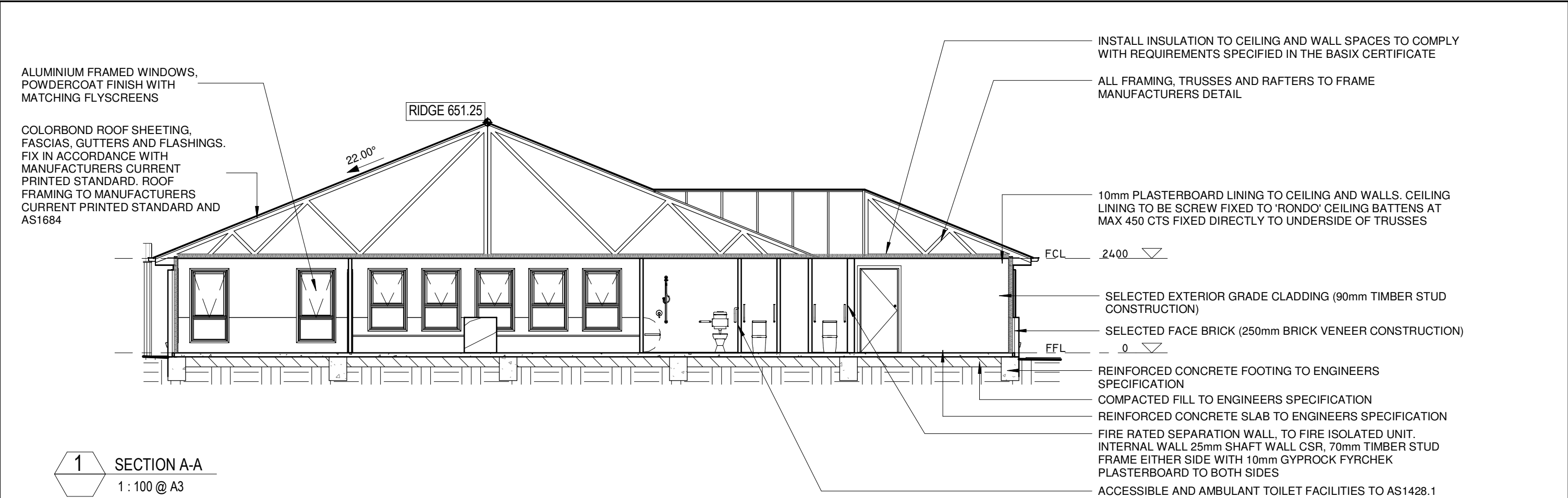
2

COMMUNAL BUILDING WEST ELEVATION

1 : 100 @ A3

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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-17	A



GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

EXTERNAL STAIRS

NON-SLIP PRECAST STEPS TO BE 75mm THICK. ALL STEPS TO HAVE NON-SLIP GROOVES TO THE FRONT EDGE. ALL STEPS TO BE IN ONE PIECE FOR ITS FULL LENGTH. STAIR RISE AND GOING TO COMPLY WITH BCA D2.13 - 2R+G : GREATER THAN 550mm LESS THAN 700mm. ALL STAIR RISERS TO BE EQUAL AND COMPLY WITH BCA D2.13 - MIN. 115mm AND MAX. 190mm. MAXIMUM VARIANCE ACROSS THE STAIR LENGTH ±2mm. ALL STAIR GOINGS TO BE EQUAL TO AND COMPLY WITH BCA D2.13 - MIN. 240mm (PRIVATE), MIN. 250mm (PUBLIC) AND MAX. 355mm.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR. - A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONALTIMBER FRAMING CODE).

CEILING

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS . INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

EXTERIOR WALLS - MASONRY

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

EXTERIOR WALLS - CLADDING

SELECTED EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

SELECTED PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

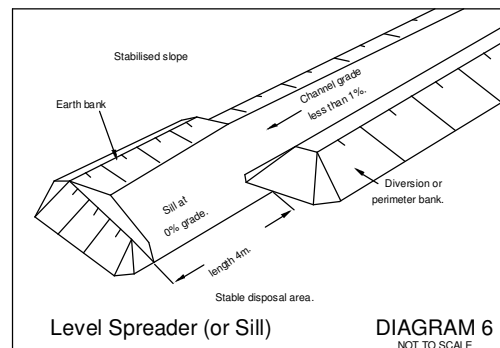
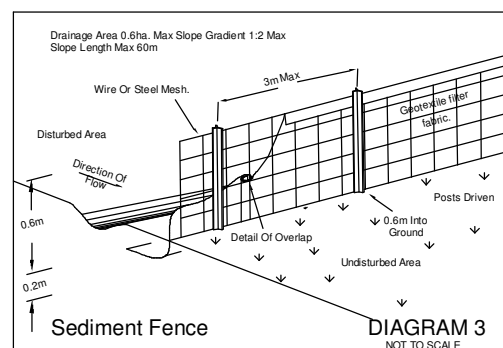
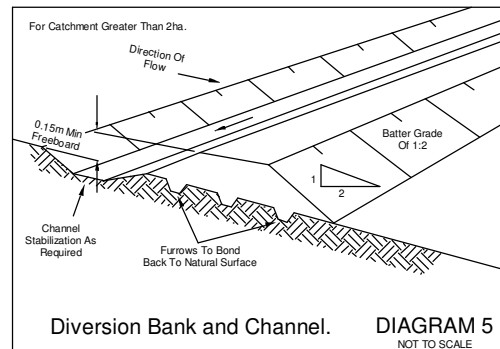
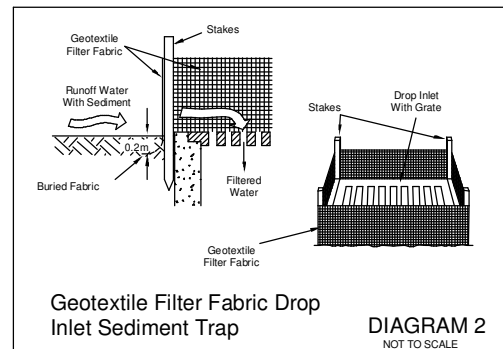
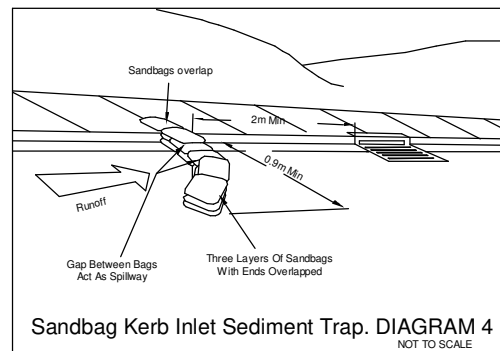
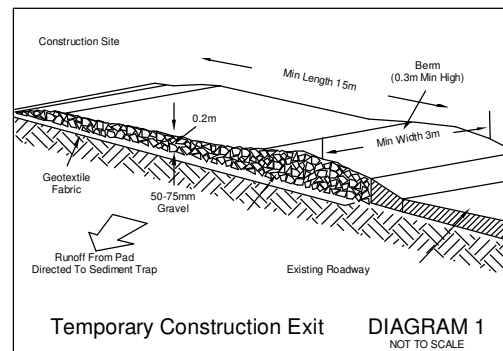
APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.

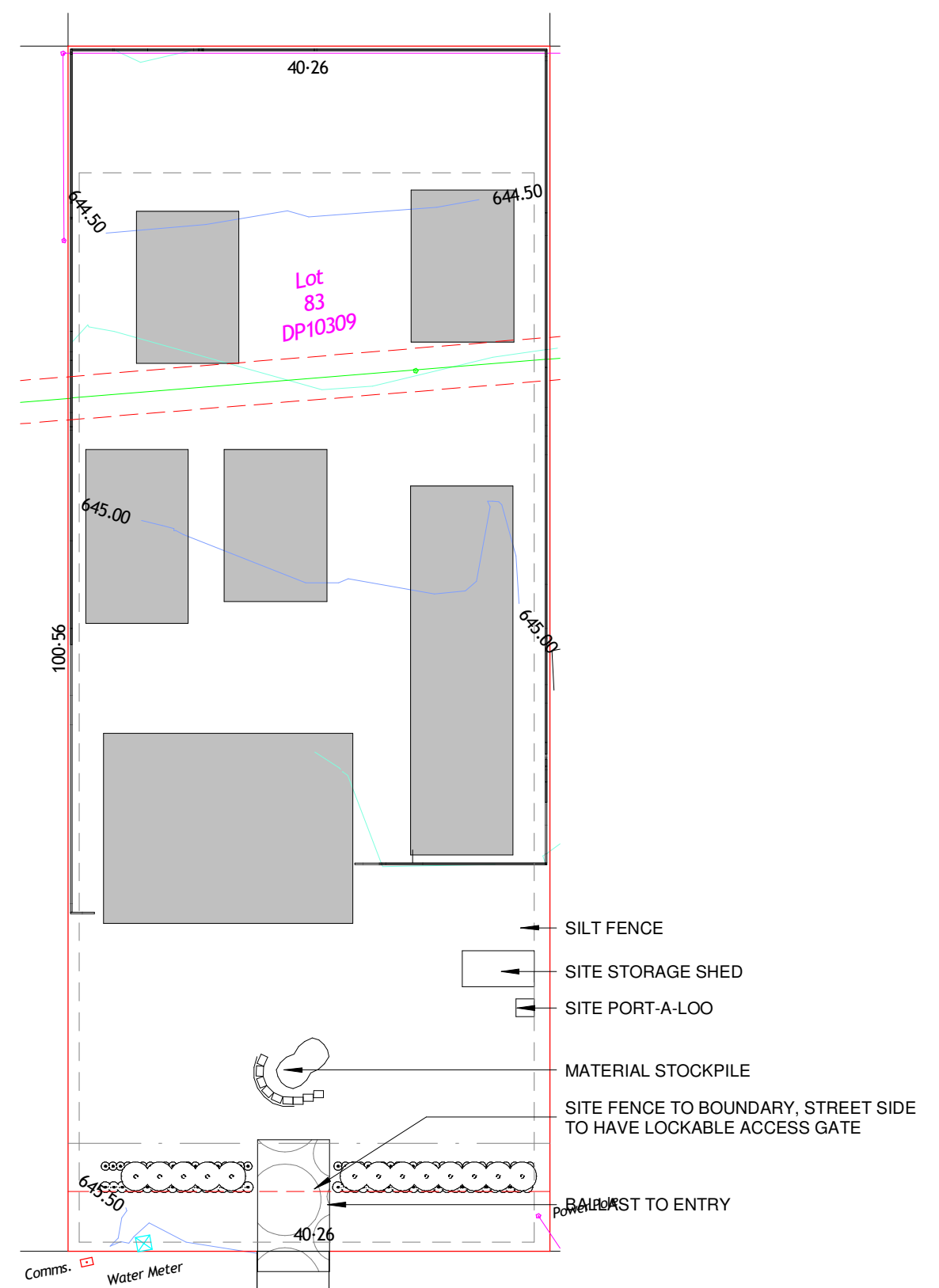
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DRAWING AMENDMENTS			PROJECT TITLE	REX ST GROUP HOME	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	SECTION A-A	DRAWING COMMENCED	12/24	DRAWING VERIFIED BY	TL	
REVISION	DESCRIPTION	DATE	CLIENT	DOUBLE SKULL PTY LTD		LOT AND DEPOSITED PLAN NO.	LOT 83 DP 10309	DRAWING SCALE	1 : 100	DRAWN BY	AH	
A	DEVELOPMENT APPLICATION	23/05/2025	<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>			STREET ADDRESS		AT SHEET SIZE	A3 SHEET	JOB NUMBER	1024-1723	
								DRAWING IDENTIFICATION NUMBER	A-18	AMENDMENT ISSUE	A	



GENERAL NOTES:

1. ALL WORK TO COMPLY WITH THE REQUIREMENTS OF COUNCIL & DEPT OF HOUSING MANUAL "MANAGING URBAN STORMWATER - SOILS & CONSTRUCTION"
2. ALL DISTURBED AREAS ON VERGES & ALLOTMENTS SHALL BE RIPPED 100mm BELOW FINISHED SURFACE LEVEL, 100mm OF APPROVED SITE OR IMPORTED TOPSOIL ADDED & TRIMMED TO FINISHED LEVEL. THEN GRASSED WITH APPROVED SEED/ MULCHED WITHIN 14 DAYS AND WATERED UNTIL FULL ESTABLISHMENT OCCURS.
3. ALL ADJOINING AREAS TO BE PROTECTED FROM SEDIMENT VIA SILT FENCE AS DETAILED. (IF FALL TO LAND OCCURS)
4. ALL PROPOSED AND EXISTING KERB INLET SUMPS SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (GULLY PIT PROTECTION)
5. ALL SURFACE INLET PITS (OFF ROAD) SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (SURFACE INLET PITS)
6. ALL PAVEMENT & SUBGRADES TO BE PROTECTED FROM SCOUR/EROSION AS DETAILED. (PAVEMENT PROTECTION)
7. ALL OUTLET PIPE'S SHALL BE FITTED WITH STAKED STRAW BALES & SILT FENCE IN A DAM PATTERN.
8. ALL SWALE DRAINS (OPEN CHANNELS) TO BE TREATED AS PER PAVEMENT PROTECTION UNTIL GRASS IS ESTABLISHED.
9. 300mm WIDE STRIP OF TURF TO BE LAID BEHIND KERB. 1m RETURNS AT 50m INTERVALS. TURF ALSO TO BE LAID AROUND ALL SURFACE INLET PITS.
10. EXISTING GRASSED AREAS SHOWN ON SOIL AND WATER MANAGEMENT PLAN ARE TO BE MAINTAINED IN CURRENT CONDITION WHERE EVER POSSIBLE
11. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPAED LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (ie. ALL FOOTPATHS, BATTERS, SITE REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS.) TOPSOIL SHALL NOT BE RESPAED ON ANY OTHER AREA UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
12. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTILL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
13. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
15. THE CONTRACTOR'S RESPONSIBILITY IS TO ENSURE ALL NECESSARY MEASURES ARE TAKEN TO PROTECT ALL DISTURBED AREAS AS PER NOTE 1. ALL ADDITIONAL COSTS IS TO BE REFLECTED IN TENDER PRICE EVEN IF SUCH MEASURES ARE NOT INDICATED ON SEDIMENT AND EROSION CONTROL PLANS.



2

EROSION AND SEDIMENT CONTROL PLAN

1 : 500 @ A3



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DRAWING AMENDMENTS			<div>PROJECT TITLE REX ST GROUP HOME</div>	<div>+L TIM LEE ARCHITECTS residential commercial industrial</div> <div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div> <div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div>	<div>DRAWING TITLE EROSION CONTROL NOTES & PLAN</div>	<div>DRAWING COMMENCED 12/24</div>	<div>DRAWING VERIFIED BY TL</div>
<div>REVISION A</div>	<div>DESCRIPTION DEVELOPMENT APPLICATION</div>	<div>DATE 23/05/2025</div>	<div>CLIENT DOUBLE SKULL PTY LTD</div>		<div>LOT AND DEPOSITED PLAN NO. LOT 83 DP 10309</div>	<div>DRAWING SCALE As indicated</div>	<div>DRAWN BY AH</div>
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div>			<div>AT SHEET SIZE A3 SHEET</div>	<div>JOB NUMBER 1024-1723</div>
					<div>STREET ADDRESS 7 REX STREET GOULBURN</div>	<div>DRAWING IDENTIFICATION NUMBER A-19</div>	<div>AMENDMENT ISSUE A</div>

DOOR SCHEDULE						DOOR SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
101	STEEL FRAMED LIETZKE SECURITY DOOR	2100	920	0	2100	306	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
102	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	3600	0	2100	307	TIMBER FRAMED SLIDING ROBE	2040	3300	0	2040
						307	TIMBER FRAMED SLIDING ROBE	2040	3300	0	2040
103	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100	307	TIMBER FRAMED SLIDING ROBE	2040	3300	0	2040
104	TIMBER FRAMED SLIDING ROBE	2040	3400	0	2040	308	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
105	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100	308	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
106	TIMBER FRAMED SLIDING ROBE	2040	3400	0	2040	308	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
107	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100	309	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
108	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100	309	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
109	TIMBER FRAMED SLIDING ROBE	2040	3400	0	2040	309	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
110	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100	310	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
201	STEEL FRAMED LIETZKE SECURITY DOOR	2100	820	0	2100	310	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
202	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100	310	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
						311	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040
205	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100	311	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040
						311	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040
206	STEEL FRAMED LIETZKE SECURITY DOOR	2100	820	0	2100	312	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
207	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	312	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
208	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	312	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100
209	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	313	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040
210	TIMBER FRAMED SLIDING ROBE	2040	3300	0	2040	313	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040
211	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	313	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040
212	TIMBER FRAMED SLIDING ROBE	2040	1800	0	2040	C1	STEEL FRAMED LIETZKE SECURITY DOOR	2100	920	0	2100
213	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	C2	STEEL FRAMED LIETZKE SECURITY DOOR	2100	920	0	2100
214	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040	C3	STEEL FRAMED LIETZKE SECURITY DOOR	2100	920	0	2100
215	SOLID CORE FIRE DOOR	2100	820	0	2100	C4	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
216	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	C5	STEEL FRAMED SECUITY SHUTTER	1200	1700	900	2100
217	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	C6	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
218	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	C7	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
219	TIMBER FRAMED SLIDING ROBE	2040	3300	0	2040	C8	SOLID CORE FIRE SEPARATION DOOR	2100	920	0	2100
220	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	C9	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
221	TIMBER FRAMED SLIDING ROBE	2040	1800	0	2040	C10	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
222	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100	C11	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
223	TIMBER FRAMED SLIDING ROBE	2040	2000	0	2040	C12	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	720	0	2100
224	SOLID CORE FIRE DOOR	2100	820	0	2100	C13	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	720	0	2100
301	STEEL FRAMED LIETZKE SECURITY DOOR	2100	920	0	2100	C14	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
301	STEEL FRAMED LIETZKE SECURITY DOOR	2100	920	0	2100	C15	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
301	STEEL FRAMED LIETZKE SECURITY DOOR	2100	920	0	2100	C16	TIMBER FRAMED OPENING - SIZE ON PLAN	0	0	0	0
302	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2400	0	2100	C17	TIMBER FRAMED, SOLID CORE DOUBLE SWINGING DOOR	2040	1640	0	2040
302	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2400	0	2100	C18	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	920	0	2100
302	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2400	0	2100	C19	TIMBER FRAMED, SOLID CORE DOUBLE SWINGING DOOR	2040	1840	0	2040
						C20	TIMBER FRAMED, SOLID CORE DOUBLE SWINGING DOOR	2040	1840	0	2040
304	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						
304	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						
304	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						
305	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						
305	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						
305	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						
306	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						
306	TIMBER FRAMED, SOLID CORE SWINGING DOOR	2100	820	0	2100						

ISSUED FOR

DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div></div>	DRAWING TITLE	DOOR SCHEDULE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.					
A	DEVELOPMENT APPLICATION	23/05/2025	DOUBLE SKULL PTY LTD		STREET ADDRESS	7 REX STREET GOULBURN	AT SHEET SIZE	JOB NUMBER
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						A-20	A	

WINDOW SCHEDULE						WINDOW SCHEDULE					
WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
101	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100	303	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100
102	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100	303	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100
103	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100	303	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100
104	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	304	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
105	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100	304	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
106	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	304	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
107	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100	305	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100
108	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	910	900	2100	305	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100
109	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	910	900	2100	305	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100
201	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100	306	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
202	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100	306	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
203	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100	306	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
204	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	1810	300	2100	307	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	1510	1200	2100
205	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	1510	900	2100	307	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	1510	1200	2100
206	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	1810	900	2100	307	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	1510	1200	2100
207	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	1810	900	2100	<div>ISSUED FOR</div> <div>DEVELOPMENT APPLICATION</div> <div>NOT FOR CONSTRUCTION</div>					
208	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	1510	900	2100						
209	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	1810	300	2100						
210	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100						
211	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100						
212	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2410	300	2100						
213	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	1510	900	2100						
214	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	1510	900	2100						
301	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100						
301	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100						
301	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100						
302	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100						
302	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100						
302	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100						
302	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1200	2410	900	2100						

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div><div><div>TIM LEE</div><div>ARCHITECTS</div></div></div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW</div><div>2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div>	DRAWING TITLE	WINDOW SCHEDULE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 83 DP 10309		12/24	TL
A	DEVELOPMENT APPLICATION	23/05/2025	DOUBLE SKULL PTY LTD				AT SHEET SIZE	JOB NUMBER	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	7 REX STREET GOULBURN		DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
								A	

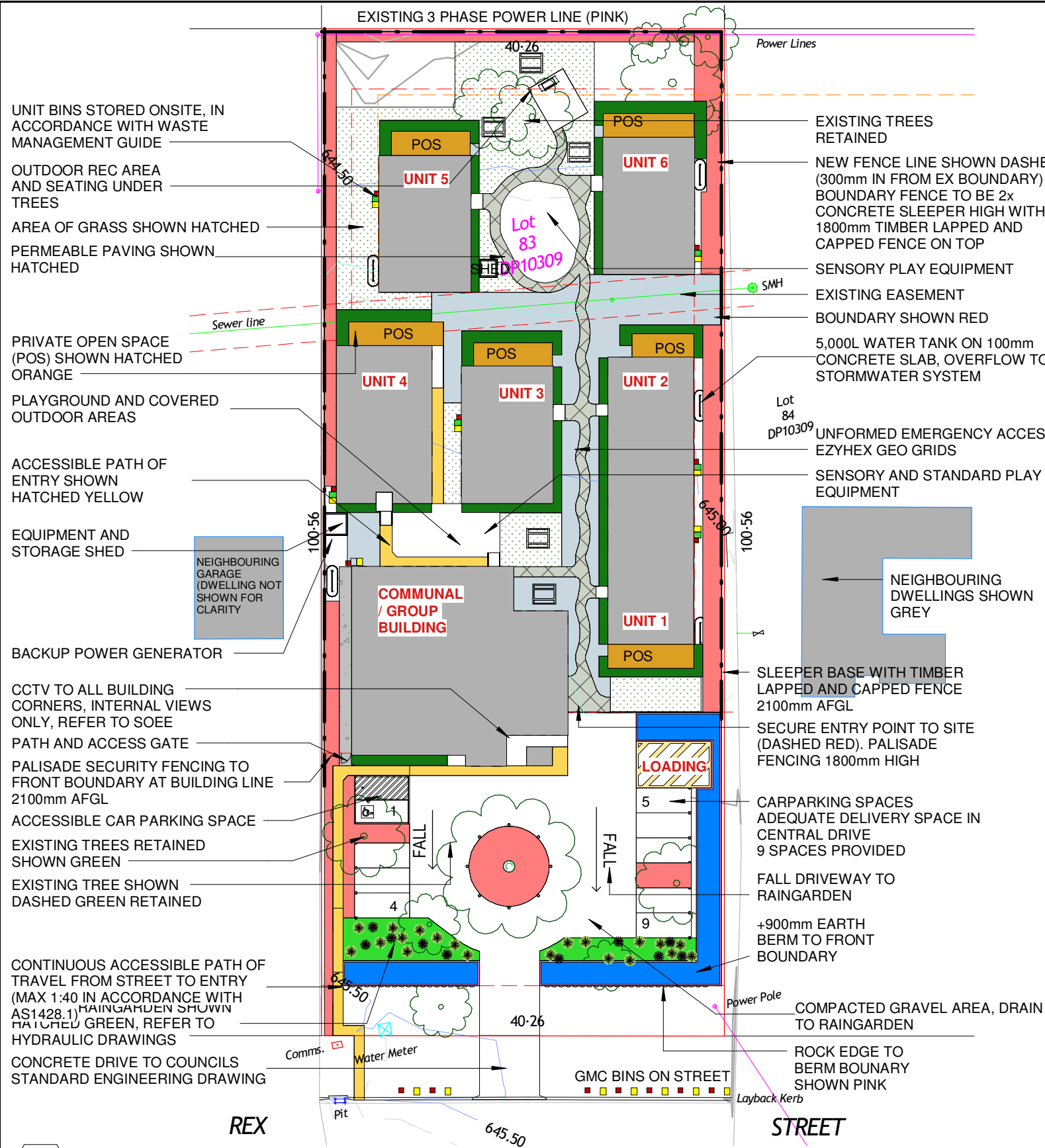
WINDOW SCHEDULE						WINDOW SCHEDULE					
WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
308	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	610	1200	2100	C13	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
308	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	610	1200	2100	C14	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
308	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	610	1200	2100	C15	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
309	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	1510	1200	2100	C16	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
309	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	1510	1200	2100	C17	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
309	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	900	1510	1200	2100	C18	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C1	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	C19	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C2	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	C20	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C3	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	910	600	2100	C21	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C4	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	910	600	2100	C22	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C5	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	910	600	2100	C23	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C6	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	910	600	2100	C24	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C7	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	910	600	2100	C25	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C8	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	C26	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C9	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	C27	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C10	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	C28	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C11	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100	C29	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100
C12	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	910	300	2100						

ISSUED FOR

DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		WINDOW SCHEDULE COMMUNAL BUILDING	12/24	TL
A	DEVELOPMENT APPLICATION	23/05/2025	DOUBLE SKULL PTY LTD		LOT AND DEPOSITED PLAN NO.		
			<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	STREET ADDRESS	AT SHEET SIZE	JOB NUMBER	
				7 REX STREET GOULBURN	A3 SHEET	1024-1723	
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					A-22	A	



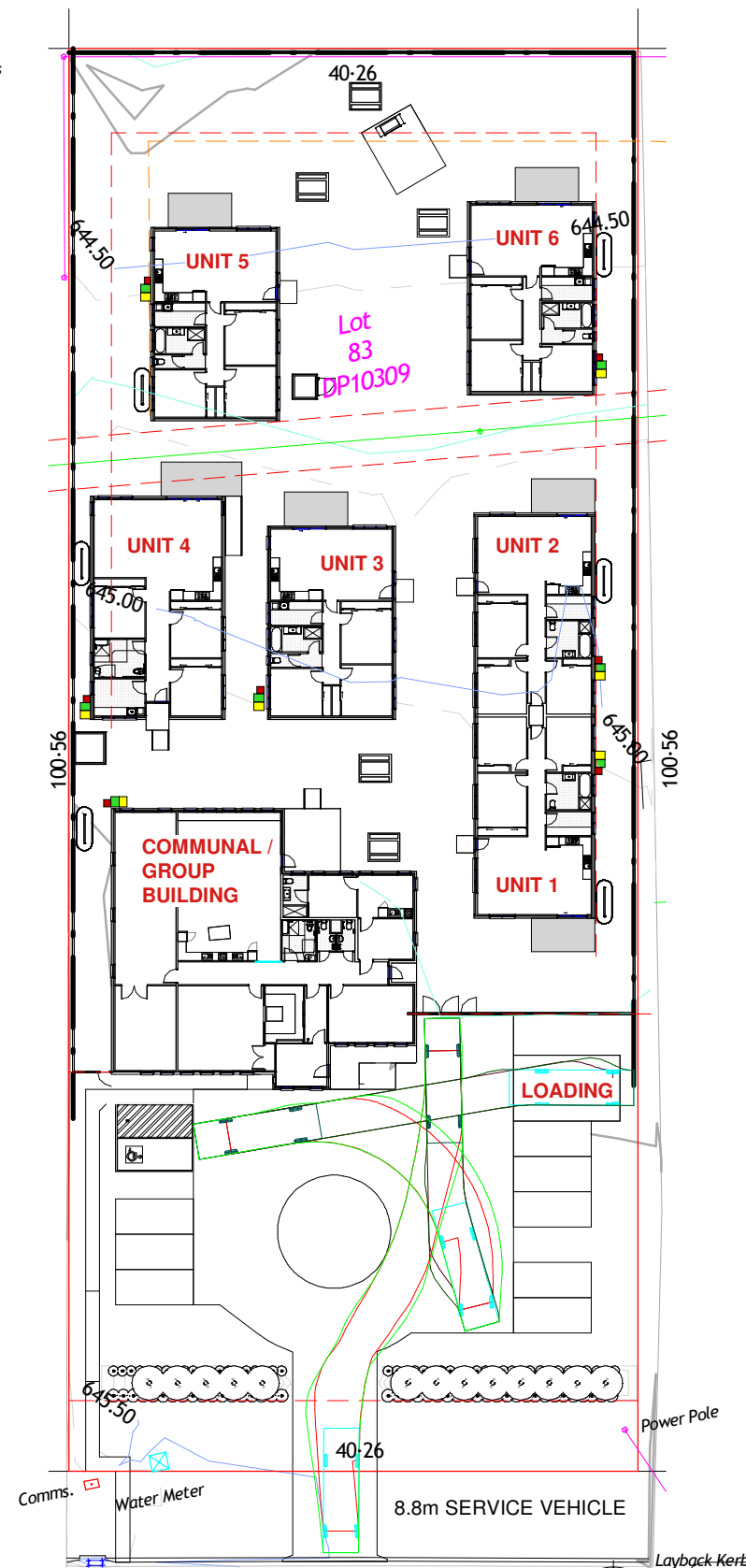
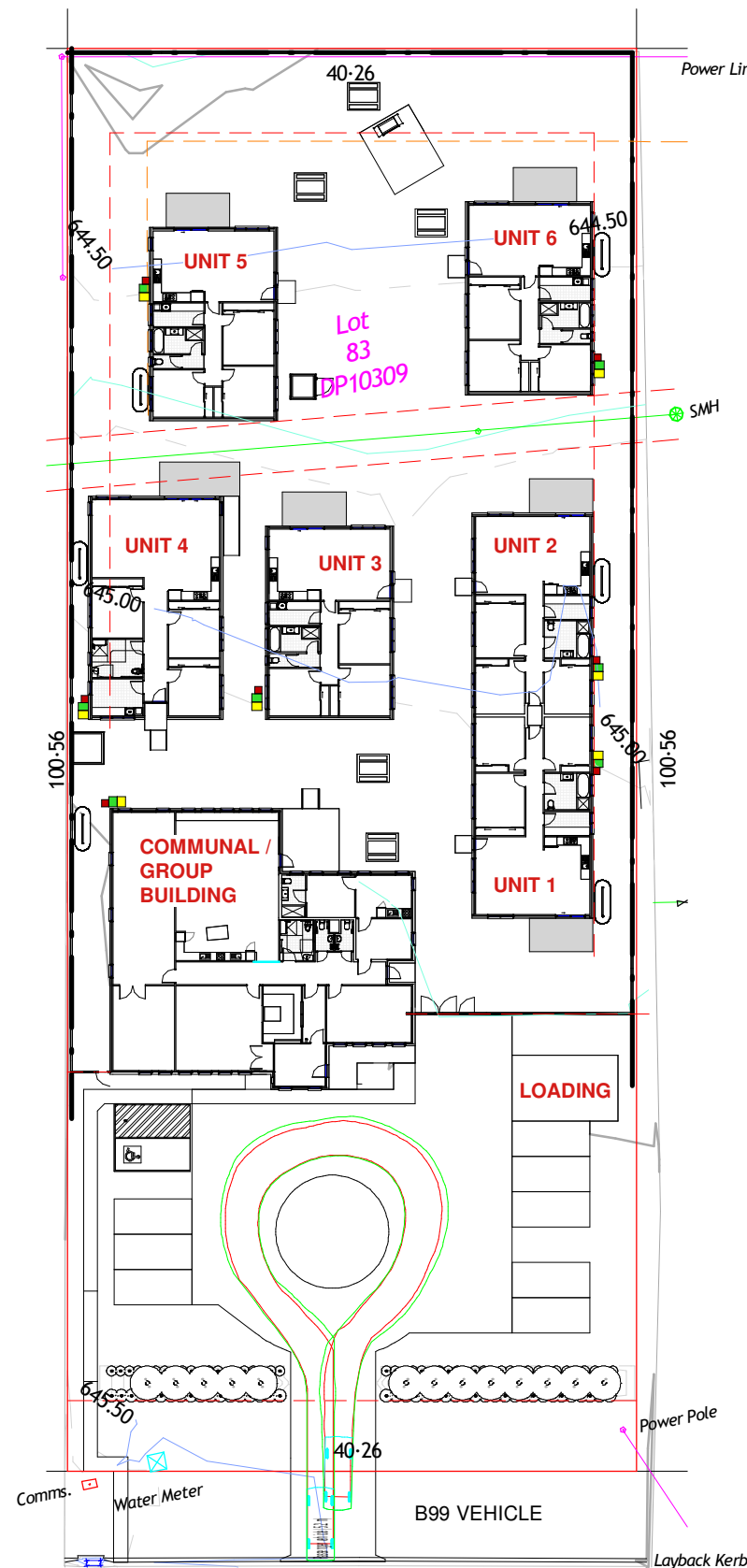
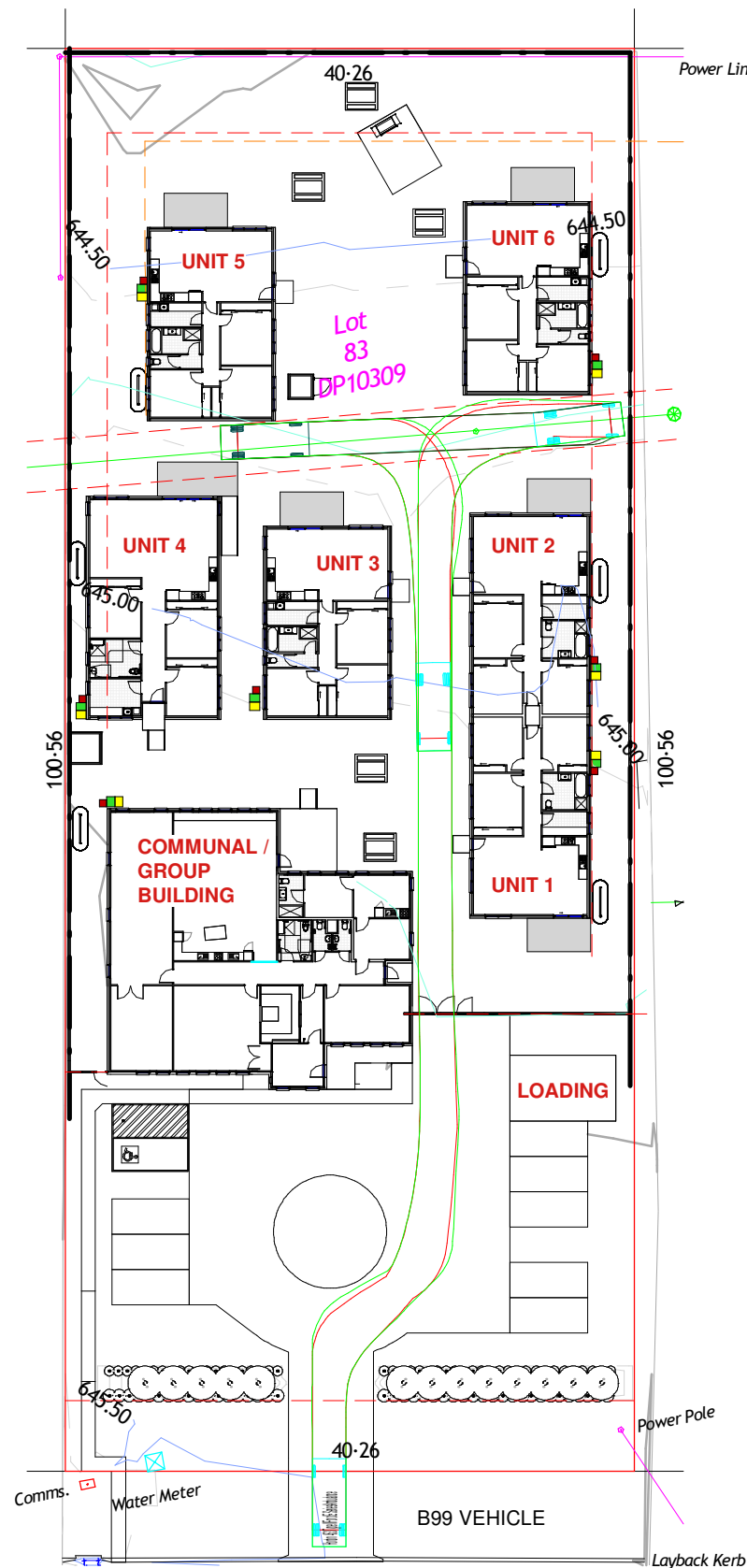
1 PROPOSED LANDSCAPE PLAN
1 : 500 @ A3

PLANTING SCHEDULE				
SYMBOL	AREA M2	POT SIZE	COMMON	BOTANICAL / TECHNICAL
	350	---	CANTURF CANBERRA BLEND WITH CLOVER	MATURE HEIGHTS SHOWN IN BRACKETS TALL FINE FESCUE & KENTUCKY BLUEGRASS WITH 5% O'CONNER'S STRAWBERRY CLOVER ADDED.
	150	4.5 LITRE POT, SPACED AT MAX. 900mm APART	MIXED GREVILLEAS	HOOKERIANA (3M x 4m) AND JUNIPERINA (4M X 6M)
	100	-	PERMEABLE PAVING	300MM X 300MM SANDSTONE PAVERS
	250	-	PERMEABLE PLASTIC GRID, FILLED WITH 150MM BALLAST AND KIKUYU	EZYHEX GEO GRIDS
	300	4.5 LITRE POT, SPACED AT MAX. 1.5m WITHIN PLANT BED	BRONZE RAMBLER BACON & EGGS PEA FLOWER	PROTEACEAE GREVILLEA (0.5M X 5M) DAVIESIA MIMOSOIDES (1M X 1M)
	65	REF TO RAINGARDEN	REF TO RAINGARDEN	REF TO RAINGARDEN
	150	10L POT SPACED AT MAX 1.2m CCS AS SHOWN ON PLANS PLANTED BERM MAX 900mm 500mm HIGH AT TIME OF PLANTING	MIXED NATIVES	CALLISTEMON CLEARVIEW WHITE (3M X 3M) CALLISTEMON CITRINUS ENDEAVOUR (3M X 3M) BANKSIA MARGINATA (2M X 3M)

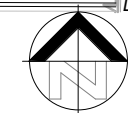
NOTE : FINAL PLANTING OF PLANTS TO BE IN ACCORDANCE WITH SUPPLIER'S CURRENT RECOMMENDED INSTRUCTIONS & SPACINGS.

- LANDSCAPING NOTES**
- EXCAVATE TO A DEPTH OF 300mm, BREAK UP SUBGRADE
A FURTHER 100mm AND BACKFILL WITH TOPSOIL MIXTURE.
PROVIDE 1:100 FALL TO BASE OF BED WITH 100 PVC
SUBSOIL DRAIN IN BLUE METAL CONNECTED TO ROOF
AND YARD DRAINAGE SYSTEM.
 - PROVIDE HOSE COCKS FOR WATERING AT 30cm CENTRES
 - FAILURES TO BE REPLACED AND WEEDS REMOVED ON REGULAR BASIS.
 - PLANT STOCK TO BE OF GOOD QUALITY, HARDENED OFF, NOT ROOT BOUND AND WITH A LEADING SHOOT IF A TREE SPECIES, FREE OF PESTS AND DISEASE.
 - PLANTS TO BE SPACED TO ENSURE INTERLOCKING OF CANOPIES BY 10-20% FOR SHRUBS AND 30-40% FOR GROUND COVER.
 - MULCHING OF PLANTING BED TO BE 75mm THICK TAKING CARE TO CLEAR MULCH FROM STEMS.
 - SOIL TREATMENT: WHERE TOP SOIL HAS BEEN STRIPPED, APPLY GYPSUM 300g-m sq. AFTER REPLACING TOPSOIL TO 300mm DEEP, APPLY LIME AT 200g/m sq. AND ENSURE PH IS 5.5-6.5. APPLY A LOW 9NKPS FERTILISER AT 100g/m sq>.
 - AREAS INDICATED GRASSED TO BE ROTARY HOED THROUGH 100mm TOPSOIL AND FIRST QUALITY TURF TO BE ROLLED, TAMPED, WATERED AND TOP DRESSED. REMOVE IRREGULARITIES AND MOW AT FORTNIGHTLY INTERVALS.

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 23/05/2025	REX ST GROUP HOME		LANDSCAPE PLAN		12/24	TL
			CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
			DOUBLE SKULL PTY LTD		LOT 83 DP 10309		As indicated	AH
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS		AT SHEET SIZE	JOB NUMBER
					7 REX STREET GOULBURN		DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
							A-23	A



1 PROPOSED SITE TURNING CIRCLES
1 : 500 @ A3



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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 23/05/2025	REX ST GROUP HOME			TURNING CIRCLES		12/24		TL	
			CLIENT			LOT AND DEPOSITED PLAN NO.		DRAWING SCALE		DRAWN BY	
			DOUBLE SKULL PTY LTD			LOT 83 DP 10309		1 : 500		AH	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			STREET ADDRESS		AT SHEET SIZE		JOB NUMBER	
						7 REX STREET GOULBURN		A3 SHEET		1024-1723	
								DRAWING IDENTIFICATION NUMBER		AMENDMENT ISSUE	
								A-25		A	



FRONT VIEW FROM
REX STREET



VIEW FROM ENTRY DRIVE



WEST APPROACH
REX STREET



AXONOMETRIC VIEW



VIEW FROM GARDEN



VIEW FROM GARDEN

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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div></div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div><div>©</div></div>	DRAWING TITLE		CONCEPT RENDERS	DRAWING COMMENCED	12/24	DRAWING VERIFIED BY	TL	
REVISION	DESCRIPTION	DATE	CLIENT		DOUBLE SKULL PTY LTD	LOT AND DEPOSITED PLAN NO.		LOT 83 DP 10309	DRAWING SCALE	AH	DRAWN BY	AH
A	DEVELOPMENT APPLICATION	23/05/2025				STREET ADDRESS			7 REX STREET GOULBURN		AT SHEET SIZE	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.					DRAWING IDENTIFICATION NUMBER	A-26	AMENDMENT ISSUE	A	



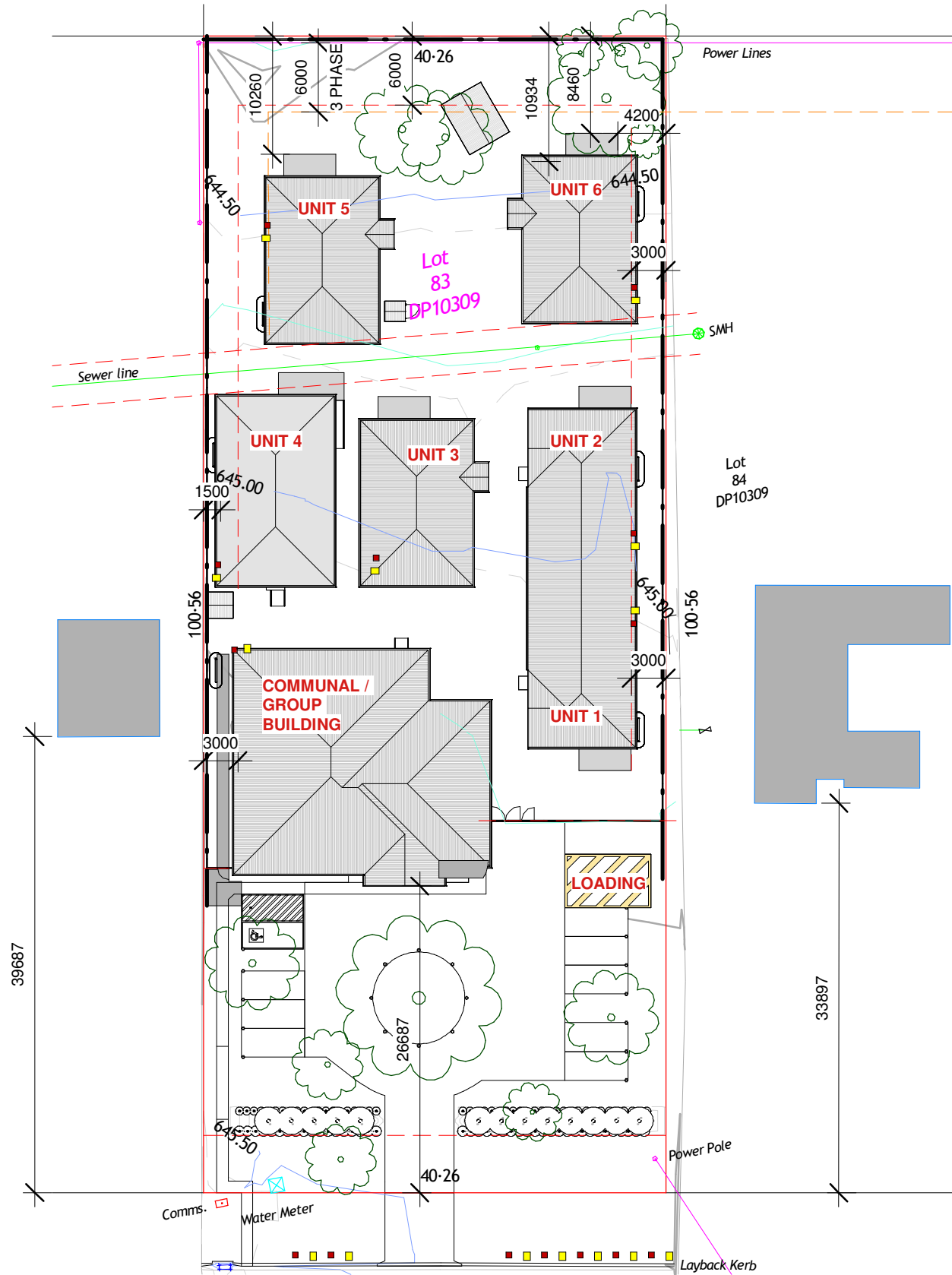
1 WINTER SOLSTICE - SHADOW DIAGRAMS 9AM
1 : 500 @ A3

2 WINTER SOLSTICE - SHADOW DIAGRAMS 12PM
1 : 500 @ A3

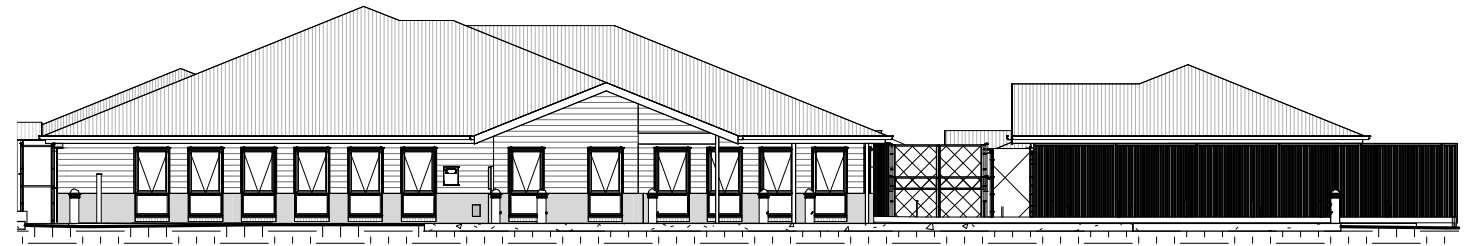
3 WINTER SOLSTICE - SHADOW DIAGRAMS 3PM
1 : 500 @ A3

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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 23/05/2025	REX ST GROUP HOME			WINTER SOLSTICE SHADOW DIAGRAMS		12/24		AH	
			CLIENT DOUBLE SKULL PTY LTD			LOT AND DEPOSITED PLAN NO. LOT 83 DP 10309		DRAWING SCALE 1 : 500		DRAWN BY TL	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			STREET ADDRESS 7 REX STREET GOULBURN		AT SHEET SIZE A3 SHEET		JOB NUMBER 1024-1723	
								DRAWING IDENTIFICATION NUMBER A-27		AMENDMENT ISSUE A	



1 NOTIFICATION PLAN
1 : 500 @ A3



2 STREET ELEVATION
1 : 200 @ A3



VIEW FROM STREET

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REVISION	DESCRIPTION	DATE	CLIENT		NOTIFICATION PLAN	12/24	TL
A	DEVELOPMENT APPLICATION	23/05/2025	DOUBLE SKULL PTY LTD		LOT AND DEPOSITED PLAN NO.	As indicated	AH
<div>Figured dimensions take precedence. Do not scale drawings.</div> <div>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.</div> <div>COPYRIGHT TIM LEE ARCHITECTS</div> <div>Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div>					LOT 83 DP 10309	AT SHEET SIZE	JOB NUMBER
				7 REX STREET GOULBURN <th colspan="1">A3 SHEET</th> <th colspan="1">1024-1723</th>	A3 SHEET	1024-1723	
				STREET ADDRESS <th colspan="1">DRAWING IDENTIFICATION NUMBER</th> <th colspan="1">AMENDMENT ISSUE</th>	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					NP-01	A	